



# Planning & Zoning Commission

COMMUNITY DEVELOPMENT DEPARTMENT

June 29, 2015 Meeting

**SUBJECT:**

Consider recommending approval of the architectural elevations for the VW building addition at 5200 Merle Hay Road. The subject property is the north building on the lot which is located west of Merle Hay road in the south Merle Hay Road Corridor Gateway.

**SYNOPSIS:**

On October 21, 2013, the City Council approved PZ Case 13-26, the Lithia Audi Dealership addition and construction of a new building. The addition would add 2,300 S.F to the existing north building. The architectural elevations had not been designed, therefore resolution 13-212 approved the site plans with the following condition:

*“Elevation drawings for the north building addition must be submitted for review and approval of the Planning Commission and City Council prior to issuance of a building permit for the north building.”*

To satisfy this condition the applicant, Lithia Audi, is seeking approval of the attached architectural elevations.

**RECOMMENDATION:**

The staff recommends approval and provides the following motion for the commission’s consideration:

**The Planning & Zoning Commission recommends approval of PZ Case No. 13-26, the Lithia VW Elevations, subject to the following conditions:**

1. The project shall conform to the requirements, standards and regulations of the City of Johnston.
2. All conditions of Resolution 13-212 remain in full force and effect.

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_ to recommend approval of the architectural elevations for Lithia VW building, with the noted conditions.

APPLICANT/  
PROPERTY OWNER:

Audi Des Moines  
5200 Merle Hay Road  
Johnston, IA, 50131

REPRESENTATIVE:

Shiffler Associates Architects, P.L.C.  
1440 Locust St #100  
Des Moines, IA, 50309

BACKGROUND:

The subject property is zoned C-3, Highway Service Commercial, and is located within the Merle Hay Road Corridor Overlay district. In October 2013, the applicant applied to demolish two existing buildings, build one new building in place of the south demolished building, make an addition to the remaining existing building, and to add parking. Since approval of resolution 13-212 the demolition of both buildings has been completed, a new 17,650 S.F. building has been constructed on the south side of the property, 154 new parking spaces have been added to the north side of the property, and 15,040 S.F. of additional parking has been added on the west side of the property. Condition number 3 of the resolution required the applicant to submit elevation drawings for the addition on the remaining building for approval by the planning and zoning commission and the city council prior to the issuance of a building permit. The applicant has submitted elevation drawings and is requesting approval of the elevation drawings so a building permit may be issued.

COMPREHENSIVE  
PLAN:

The Johnston 2030 Comp Plan that was adopted December 6, 2010 recommends that development and redevelopment along Merle Hay Road be consistent with the Merle Hay Road Redevelopment Plan. This lot is located within the Merle Hay Road Gateway district which is included in the Merle hay Road Redevelopment Plan. The proposed addition would satisfy the comprehensive plans goals for commercial properties and the Merle Hay Road redevelopment Plan.

ZONING DISTRICT &  
BULK  
REQUIREMENTS:

The property is zoned C-3, Highway Service Commercial, and is located within the Merle Hay Road Corridor overlay district.

The parcel allows for automobile, trailer, motorcycle, boat, and farm implement establishments for display, hire, rentals, or sales (including sales lots); including repair work accessory to this principal use. The bulk requirements are as follows:

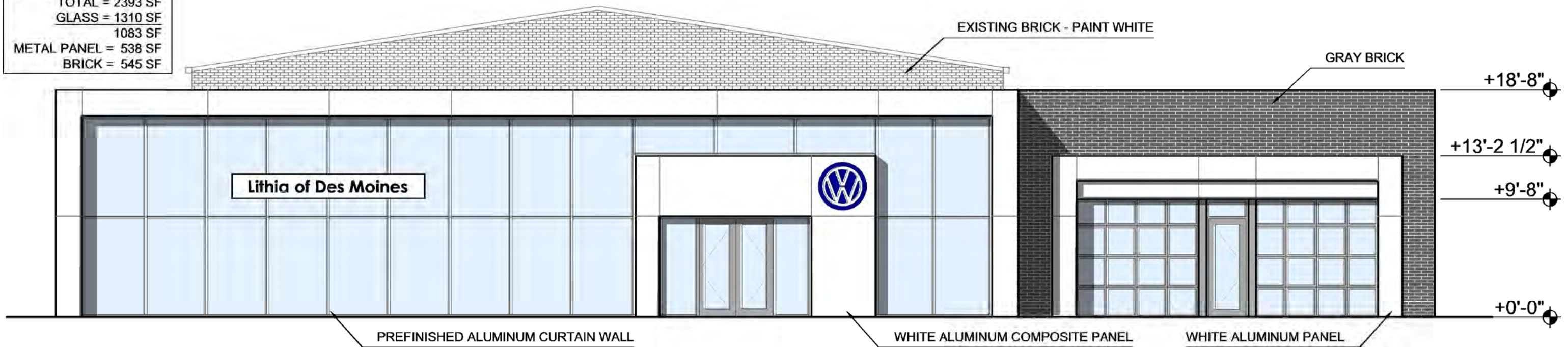
Minimum Lot Area = 20,000 Square Feet  
Minimum Lot Width = 100 Feet  
Front Yard Setback = 30 Feet  
Rear Yard Setback = 35 Feet  
Side Yard Setback = 10 Feet  
Maximum Building Height = 50 Feet

ARCHITECTURE:	<p>The proposed building addition at 5200 Merle Hay Road is required to meet the architectural requirements for a commercial building with 75% permanent material on all four building elevations. Since the building is within 300 feet of Merle Hay Road, 50% of the wall area facing Merle Hay Road is also required to be brick.</p> <p>The applicants have completed the architecture of this building to meet the above standards:</p> <ul style="list-style-type: none"><li>• The 75% minimum permanent materials chosen include: brick, aluminum composite panel, metal roof, metal panel, and metal siding.</li><li>• North elevation contains 100% permanent materials, West elevation contains 100% permanent materials, South elevation contains 100% permanent materials, and lastly the East elevation facing Merle Hay Road contains 100% permanent materials including 50% brick.</li></ul>
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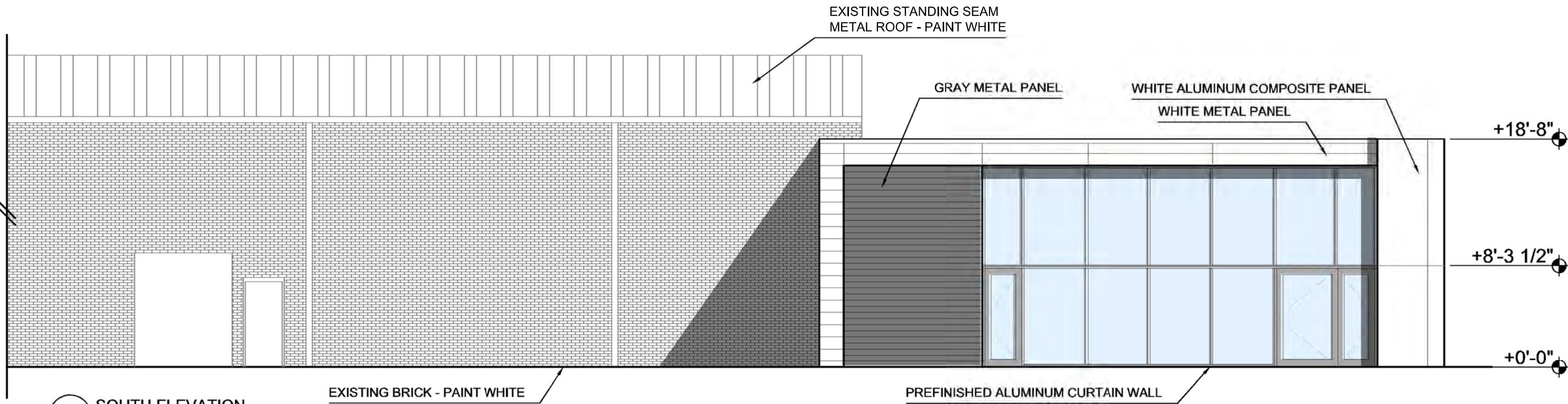
Attachments:

- Lithia Volkswagen Building Elevations, prepared by Shiffler Associates Architects, P.L.C., dated May 21, 2015.
- Vicinity Map

**EAST ELEVATION**  
 TOTAL = 2393 SF  
 GLASS = 1310 SF  
 1083 SF  
 METAL PANEL = 538 SF  
 BRICK = 545 SF



1 EAST ELEVATION  
 1/8" = 1'-0"



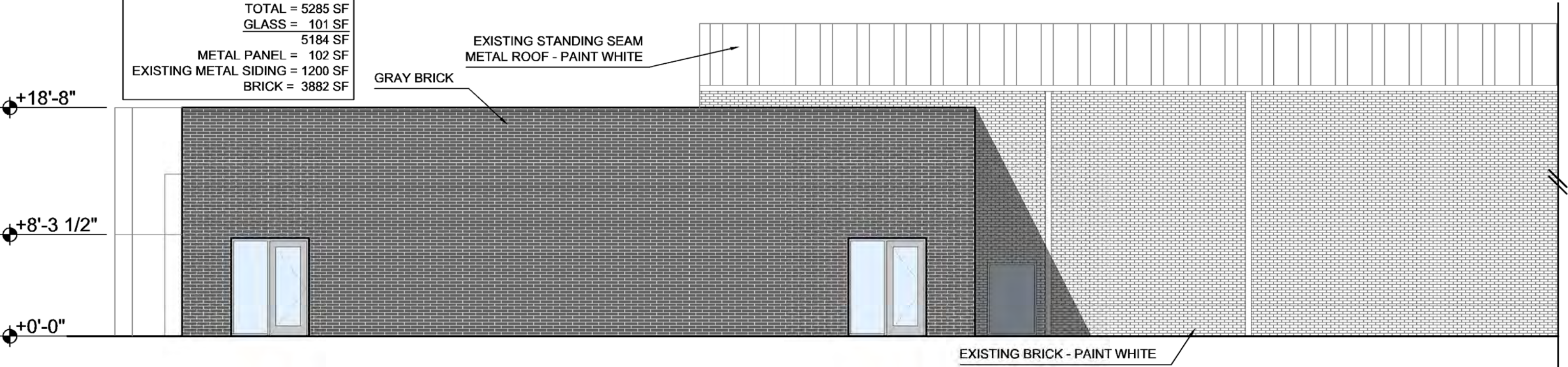
2 SOUTH ELEVATION  
 1/8" = 1'-0"

**SOUTH ELEVATION**  
 TOTAL = 5355 SF  
 GLASS = 533 SF  
 4822 SF  
 METAL PANEL = 422 SF  
 EXISTING METAL SIDING = 1200 SF  
 EXISTING BRICK = 3200 SF

**NORTH ELEVATION**  
 TOTAL = 5285 SF  
 GLASS = 101 SF  
 5184 SF  
 METAL PANEL = 102 SF  
 EXISTING METAL SIDING = 1200 SF  
 BRICK = 3882 SF

+18'-8"  
 +8'-3 1/2"  
 +0'-0"

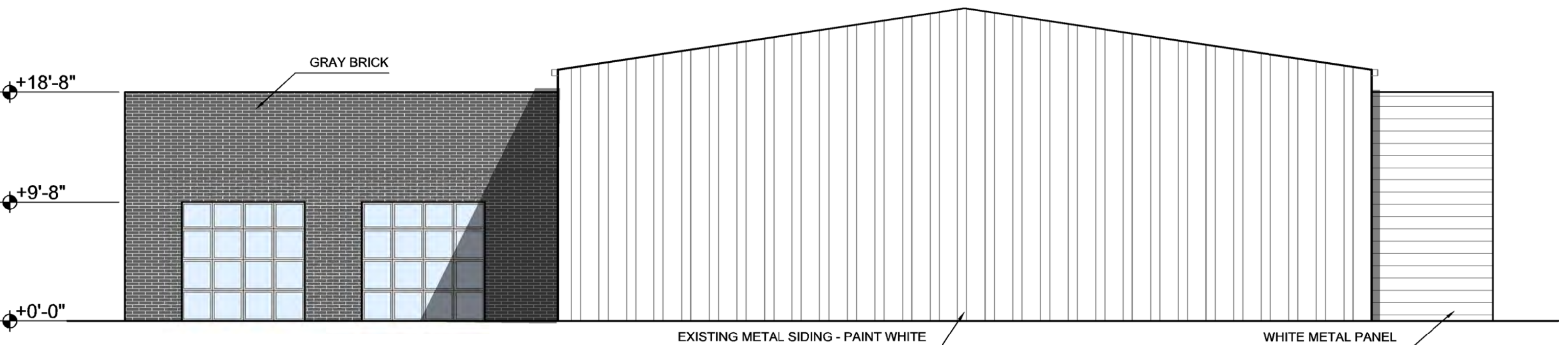
EXISTING STANDING SEAM  
 METAL ROOF - PAINT WHITE  
 GRAY BRICK



3 NORTH ELEVATION  
 1/8" = 1'-0"

+18'-8"  
 +9'-8"  
 +0'-0"

GRAY BRICK

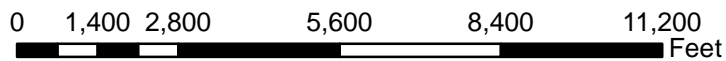
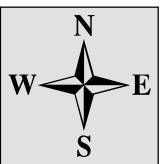
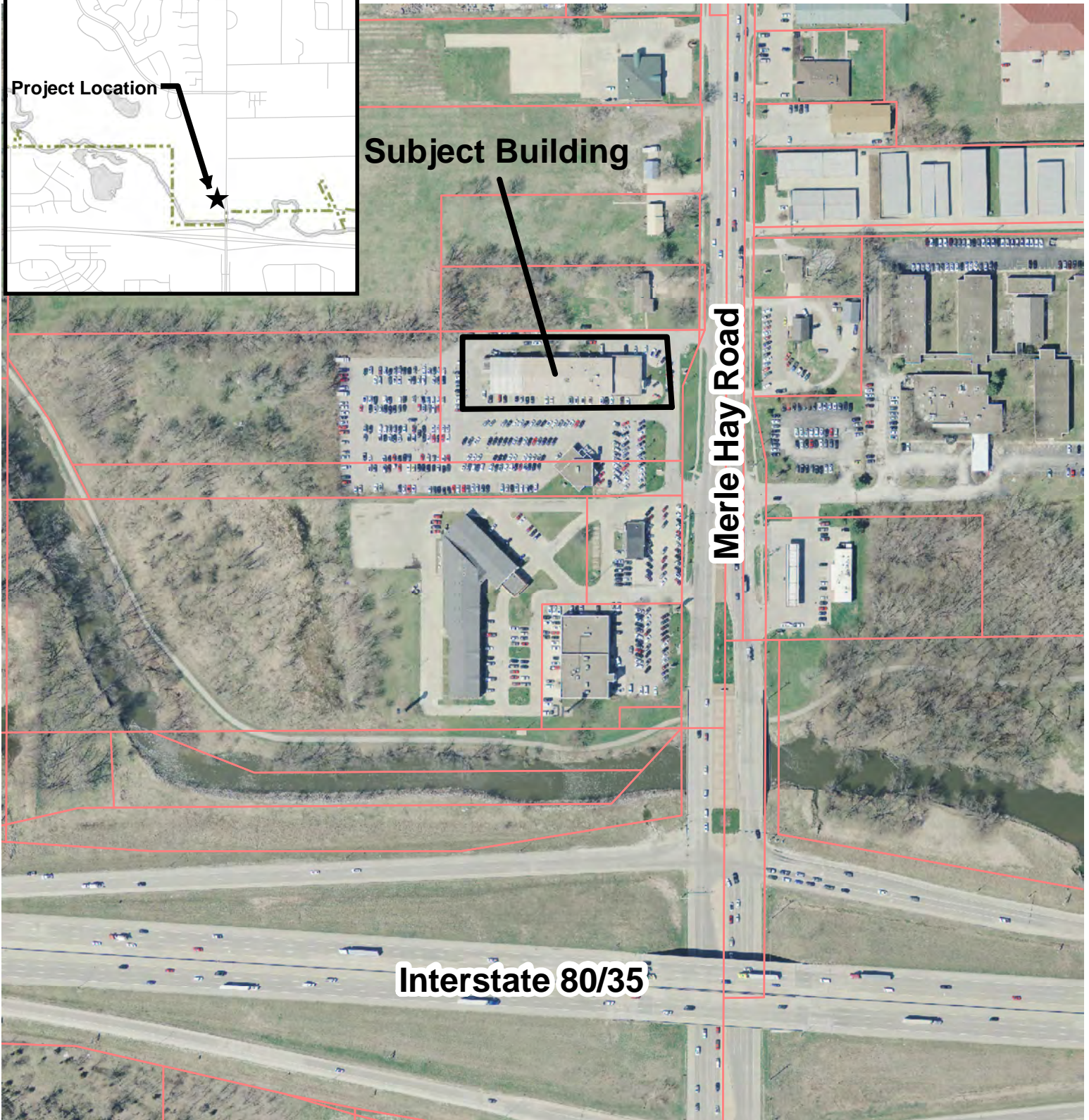
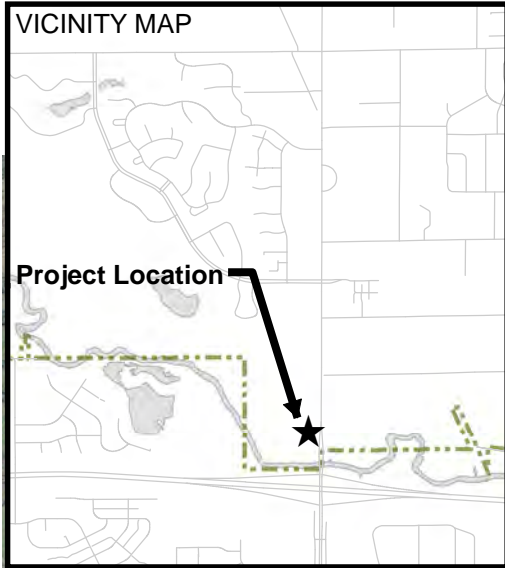


EXISTING METAL SIDING - PAINT WHITE  
 WHITE METAL PANEL

4 WEST ELEVATION  
 1/8" = 1'-0"

**WEST ELEVATION**  
 TOTAL = 2370 SF  
 GLASS = 193 SF  
 2177 SF  
 EXISTING METAL SIDING = 1525 SF  
 METAL PANEL = 185 SF  
 BRICK = 467 SF

**PZ case 13-26  
Lithia VW Building**



1 inch = 250 feet

Created by City of Johnston Department of Community Development  
6221 Merle Hay Road, P.O. Box 410, Johnston, IA, 50131-0410 (515)278-2344 Fax:(515)278-2033