



# Planning & Zoning Commission

COMMUNITY DEVELOPMENT DEPARTMENT

August 11, 2014 Meeting

**SUBJECT:** Consider recommending approval of the Final Plat for Chesterfield Heights Plat 1, subdividing 22.16 acres into thirty-three (33) single-family lots. The property is located north of NW 78<sup>th</sup> Avenue and approximately 1,350 feet west of NW 100<sup>th</sup> Street.

**SYNOPSIS:**

The applicant, Chesterfield Heights, LLC, has submitted a final plat for 33 single-family lots. The Preliminary Plat was approved in August of 2013 and construction of the public improvements is nearly complete.

**RECOMMENDATION:**

The Planning & Zoning Commission recommends approval of the final plat for Chesterfield Heights Plat 1 subject to the following conditions:

1. The project shall conform to the requirements, standards and regulations of the City of Johnston.
2. Submission of all final plat documentation to City's Staff and Attorney, for review and approval, must occur six (6) working days prior to the City Council's regular meeting.
3. The subject property is within the Northwest Area Water District. Payment of district connection fees in the amount of \$1,750 per acre is required prior to City Council approval of the Final Plat [ $\$1,750 \times 21.64 \text{ acres} = \$38,870$ ].
4. The subject property is within the Little Beaver Creek Trunk Sanitary Sewer Connection District. Payment of district connection fees in the amount of \$3,350 per acre is required prior to City Council approval of any Final Plat [ $\$3,350 \times 21.64 \text{ acres} = \$72,494$ ].
5. Prior to the City Council approval of a final plat for the subject property, the applicant shall select and provide one of the allowed options outlined in Resolution 08-53 (bond, payment or petition and waiver), based upon the 275.50 lineal feet of frontage on NW 78<sup>th</sup> Avenue, the 2008 value of this requirement is \$36,247.54. If applicant chooses petition and waiver, said document shall stipulate the amount to be assessed to each lot.
6. Performance Bonds are required for all outstanding construction items. Bonds should be in the amount of the remaining construction costs plus ten percent. A contractor or engineers estimate shall be provided

to document remaining items and costs.

7. Maintenance bonds for all streets, underground infrastructure, trails and common open space areas are required prior to council acceptance of the public improvements. Maintenance bonds shall be valid for a four year period after acceptance of the public improvements.
8. Pursuant to standard city practice, the Building Department will not issue building permits until all major construction has been completed, the final plat filed and recorded and a punch list created for all outstanding items. Prior to acceptance of the public improvements, the Building Department will issue no more than two permits for the subdivision.
9. The provisions of the Parkland Dedication Ordinance are applicable to this site, as such the applicant is responsible for the dedication of a minimum of 0.4917 acres of parkland, which is calculated as follows:  
$$2.98 \text{ people per dwelling} \times 33 \text{ single family dwellings} \times 0.005 \text{ acres of parkland per person} = 0.4917 \text{ acres}$$

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Motion by \_\_\_\_\_, seconded by \_\_\_\_\_ to recommend approval of the Final Plat for Chesterfield Heights (PZ Case 14-30).

Attachments:

- Final Plat prepared by Engineering Resource Group, Inc. dated July 10, 2014
- Staff development review comments dated July 23, 2014
- Foth comments dated July 23, 2014
- Petition and Waiver for Public Improvements
- Vicinity Map
- Mailing Notice and Mailing List

APPLICANT:

Willis Van Zee  
Chesterfield Heights L.L.C.  
PO Box 373  
Johnston, IA 50131  
515.986.4101

REPRESENTATIVE:

Doug Saltsgaver  
Engineering Resources Group, Inc.  
2413 Grand Avenue  
Des Moines, IA 50312  
515.288.4823

BACKGROUND &  
PRIOR APPROVALS:

The subject property was annexed into city limits in 2008 as part of the 837.52 acre annexation of properties east and west of NW 100<sup>th</sup> Street and north of NW 70<sup>th</sup> Avenue (known as the Northwest Annexation).

On August 5, 2013, The City Council approved Ordinance 889 rezoning 21.64 acres and adjoining right-of-way from A-R, Agricultural Reserve District and R-1(100), Single Family Residential District to R-1(75), Single-Family Residential District.

On August 19, 2013, The City Council approved the Preliminary Plat for Chesterfield Heights Plat 1, subdividing 22.16 acres into thirty-three (33) single-family lots via Resolution 13-147.

On March 17, 2014, the City Council approved the Construction Plans for Chesterfield Heights Plat 1 via Resolution 14-57.

RESIDENTIAL  
ZONING DISTRICT  
& BULK  
REGULATIONS:

This site is zoned R-1(75), Single Family Residential District, with a development agreement imposing greater restrictions on lot size, overall density, and rear yard setbacks for lots 1-15. The applicable bulk regulations follow:

- Lot Area: 9,500 sq. ft. minimum
- Lot Width: \*85 ft. per development agreement
- Front Setback: 35 ft.
- Side Yard: 8ft. one side/17 ft. total
- Rear Yard: 50 ft. (lots 1-15); 35 ft. all others per development agreement.
- \*\*Density may not exceed 1.6 units per acre per development agreement.

\*Traditional R-1(75) district requires 75 foot lot widths.

\*\*Comprehensive Plan requires 2 units per acre on subject property.

TRAFFIC ACCESS &  
CIRCULATION:

Chapter 180.27 of the City of Johnston Code of Ordinances stipulates use of cul-de-sacs shall be limited to land uses which generate no more than 250 average daily trips (ADT). The final plat provides for the creation of

33 single-family lots which would generate approximately 330 average daily trips. Proposed NW 80<sup>th</sup> Avenue provides potential for a future second means of ingress/egress for the subdivision.

Chapter 180.29 of the Code of Ordinances stipulates all temporary dead-end streets serving four or more lots or exceeding 200 feet in length shall terminate in a temporary turn-around constructed of temporary Asphaltic Concrete or alternate with a minimum diameter of 60' or other satisfactory means of turning a vehicle, including vehicles required to remove snow. NW 80<sup>th</sup> Avenue is exempt from construction of a temporary turn-around because it serves only two lots and does not exceed 200 feet in length.

**SIDEWALKS:**

Sidewalks are required along all public streets, at the time of site development and will be constructed along both sides of NW 104<sup>th</sup> Court and NW 80<sup>th</sup> Avenue.

**IMPROVEMENTS TO ADJACENT ROADWAYS:**

NW 78<sup>th</sup> Avenue is a two-lane asphalt county roadway with roadside ditches. The city's subdivision regulations require the property owner to improve adjacent streets to the standards of a collector street, or submit a petition and waiver agreeing to be assessed for the improvements. The applicant has chosen to provide a petition and waiver agreeing to a future assessment of \$36,247.54, based upon the 275.50 lineal feet of frontage on NW 78<sup>th</sup> Avenue.

**PUBLIC UTILITIES:**

**WATER:** The developer has extended an existing water main stub at NW 104<sup>th</sup> Court to serve the subdivision. The main extends along the east side of NW 104<sup>th</sup> Court, and the north side of NW 80<sup>th</sup> Avenue to the west property boundary to allow a loop connection if properties west of the subject property are developed in the future.

**SANITARY SEWER:** The Little Beaver Creek sanitary sewer trunk main was extended westerly along NW 78<sup>th</sup> Avenue to serve the subject property and future westward developments, as well as the southern half of Elmerodo Estates and the properties along the south side of NW 78<sup>th</sup> Avenue. Construction of this sanitary sewer extension is nearly complete.

**NORTHWEST AREA WATER CONNECTION DISTRICT:**

The subject property is within the Northwest Area Water District. Payment of district connection fees in the amount of \$1,750 per acre is required prior to City Council approval of the Final Plat [ $\$1,750 \times 21.64 \text{ acres} = \$38,870$ ].

**LITTLE BEAVER CREEK TRUNK SANITARY SEWER CONNECTION DISTRICT:**

The subject property is within the Little Beaver Creek Trunk Sanitary Sewer Connection District. Payment of district connection fees in the amount of \$3,350 per acre is required prior to City Council approval of the Final Plat [ $\$3,350 \times 21.64 \text{ acres} = \$72,494$ ].

FLOODPLAIN:

This property is within Zone X on the Flood Insurance Rate Map and is outside of the 500-year flood plain.

PARKLAND DEDICATION:

Chapter 180.43 of the City of Johnston code of ordinances requires dedication of 5 acres of public parkland for each 1,000 residents added to the community. The necessary dedication is based on the number of lots/single-family dwellings created. Based upon the creation of 33 new lots the parkland dedication would be tabulated using the following formula:

- o 2.98 people per dwelling X 33 single family dwellings X 0.005 acres of parkland per person = 0.4917 acres.

The applicant proposes to pay an “equal value” monetary contribution in lieu of dedicating physical parkland as allowed by Chapter 180.43. In such instances, staff calculates “equal value” at \$28,000 per acre. .4917 acres x \$28,000 = \$13,767.60. Payment of said contribution is due prior to City Council approval of the final plat.

CONSULTANT COMMENTS:

Foth Infrastructure and Environment has reviewed the final plat and provided no additional comments in their review letter dated 7/23/2014.

PLAT SUMMARY:

Lots:	33
Area:	21.64 Acres
Area of Streets:	96,992 sq. ft.
Net Area in Lots	844,593sq. ft.
Outlot Area:	1,200 sq. ft.
Length of Street:	1,423 lin ft.
Length of Public Sewer Main:	1,775 lin. ft.
Length of Public Water Main:	1,688 lin. ft.
Length of Public Storm Sewer:	3,400 lin. ft.

FINAL DOCUMENTATION:

**The following documentation shall be submitted and will be recorded with the Final Plat:**

1. Attorney’s title opinion
2. Warranty Deed
3. Polk County Treasurer’s Tax Certificate
4. Consent to Plat (Owner and Lender)
5. Sanitary Sewer Easement
6. Surface water flowage, stormwater detention and storm sewer easements (with language detailing maintenance plan and responsibilities of basin)
7. Groundwater Hazard Statement for Lot ‘A’ and Lot ‘B’
8. Warranty Deed Lot ‘A’ and Lot ‘B’
9. Lenders partial release of mortgage Lots ‘A’ and ‘B’
10. Performance Bonds for all outstanding construction items, bonds should be in the amount of the remaining

construction costs plus ten percent. A contractor or engineers estimate shall be provided to document remaining items and costs.

11. Maintenance bonds for all streets, underground infrastructure, trails and common open space areas. Maintenance bonds shall be valid for a four year period after acceptance of the public improvements.
12. Petition and Waiver for improvements to NW 78<sup>th</sup> Avenue.

**The following fees shall be paid prior to council approval of the final plat:**

13. Payment of Sanitary Sewer District connection fees:  
**\$72,494**
14. Payment of Water District connection fees: **\$38,870**
15. Payment of Parkland Dedication equivalent value:  
**\$13,767.60**



**MEMORANDUM**  
*City of Johnston, Iowa*

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**SENT VIA EMAIL**

**DATE:** July 23, 2014

**TO:** Willis Van Zee, Chesterfield Heights L.L.C.  
Doug Saltsgaver, Engineering Resources Group, Inc.

**FROM:** Bryce Johnson,  
Intern Planner

**RE: Chesterfield Heights Final Plat**

The following are comments on the Final Plat for Chesterfield Heights; the comments are in addition to comments provided by Josh DeBower, P.E., Foth Infrastructure and Environment, LLC:

1. The subject property is within the Northwest Area Water District. Payment of district connection fees in the amount of \$1,750 per acre is required prior to City Council approval of the Final Plat [ $\$1,750 \times 21.64 \text{ acres} = \$38,870$ ].
2. The subject property is within the Little Beaver Creek Trunk Sanitary Sewer Connection District. Payment of district connection fees in the amount of \$3,350 per acre is required prior to City Council approval of any Final Plat [ $\$3,350 \times 21.64 \text{ acres} = \$72,494$ ].
3. Pursuant to Chapter 180.42 of the Subdivision Regulations and Resolution 08-53, the applicant shall be responsible participation in the reconstruction of NW 78<sup>th</sup> Avenue to improve the roadway to a collector standard. Prior to the City Council approval of a final plat for the subject property, the applicant shall select and provide one of the allowed options outlined in Resolution 08-53 (bond, payment or petition and waiver), based upon the 275.50 lineal feet of frontage on NW 78<sup>th</sup> Avenue, the 2008 value of this requirement is \$36,247.54. If applicant chooses petition and waiver, said document shall stipulate the amount to be assessed to each lot.
4. Performance Bonds are required for all outstanding construction items. Bonds should be in the amount of the remaining construction costs plus ten percent. A contractor or engineers estimate shall be provided to document remaining items and costs.

5. Maintenance bonds for all streets, underground infrastructure, trails and common open space areas are required prior to council acceptance of the public improvements. Maintenance bonds shall be valid for a four year period after acceptance of the public improvements.
6. Pursuant to standard city practice, the Building Department will not issue building permits until all major construction has been completed, the final plat filed and recorded and a punch list created for all outstanding items. Prior to acceptance of the public improvements, the Building Department will issue no more than two permits for the subdivision.
7. The provisions of the Parkland Dedication Ordinance are applicable to this site, as such the applicant is responsible for the dedication of a minimum of 0.2384 acres of parkland, which is calculated as follows:
  - **2.98 people per dwelling X 33 single family dwellings X 0.005 acres of parkland per person = 0.4917 acres**

Chapter 180.43 allows the developer to propose an equal value alternative to parkland dedication with a value equal or greater to that of the required parkland. Consistent with past agreements, the amount per acre shall be \$28,000 or \$13,767.60 for the lots proposed within the subject plat. If the applicant elects to exercise the equal value alternative, the fee must be paid prior to approval of the final plat.

Please note, in order to proceed to the City Council with the final plat, the following documents will be required:

- a. Attorney's title opinion
- b. Warranty Deed
- c. Polk County Treasurer's Tax Certificate
- d. Consent to Plat (Owner and Lender)
- e. Sanitary Sewer Easement
- f. Surface water flowage, stormwater detention and storm sewer easements (with language detailing maintenance plan and responsibilities of basin)
- g. Groundwater Hazard Statement for Lot 'A' and Lot 'B'
- h. Warranty Deed Lot 'A' and Lot 'B'
- i. Lenders partial release of mortgage Lots 'A' and 'B'
- j. Performance Bonds for all outstanding construction items, bonds should be in the amount of the remaining construction costs plus ten percent. A contractor or engineers estimate shall be provided to document remaining items and costs.
- k. Maintenance bonds for all streets, underground infrastructure, trails and common open space areas. Maintenance bonds shall be valid for a four year period after acceptance of the public improvements.
- l. Petition and Waiver for improvements to NW 78<sup>th</sup> Avenue.
- m. Payment of Sanitary Sewer District connection fees: **\$72,494**
- n. Payment of Water District connection fees: **\$38,870**
- o. Parkland Dedication or equivalent value (**\$13,767.60**)

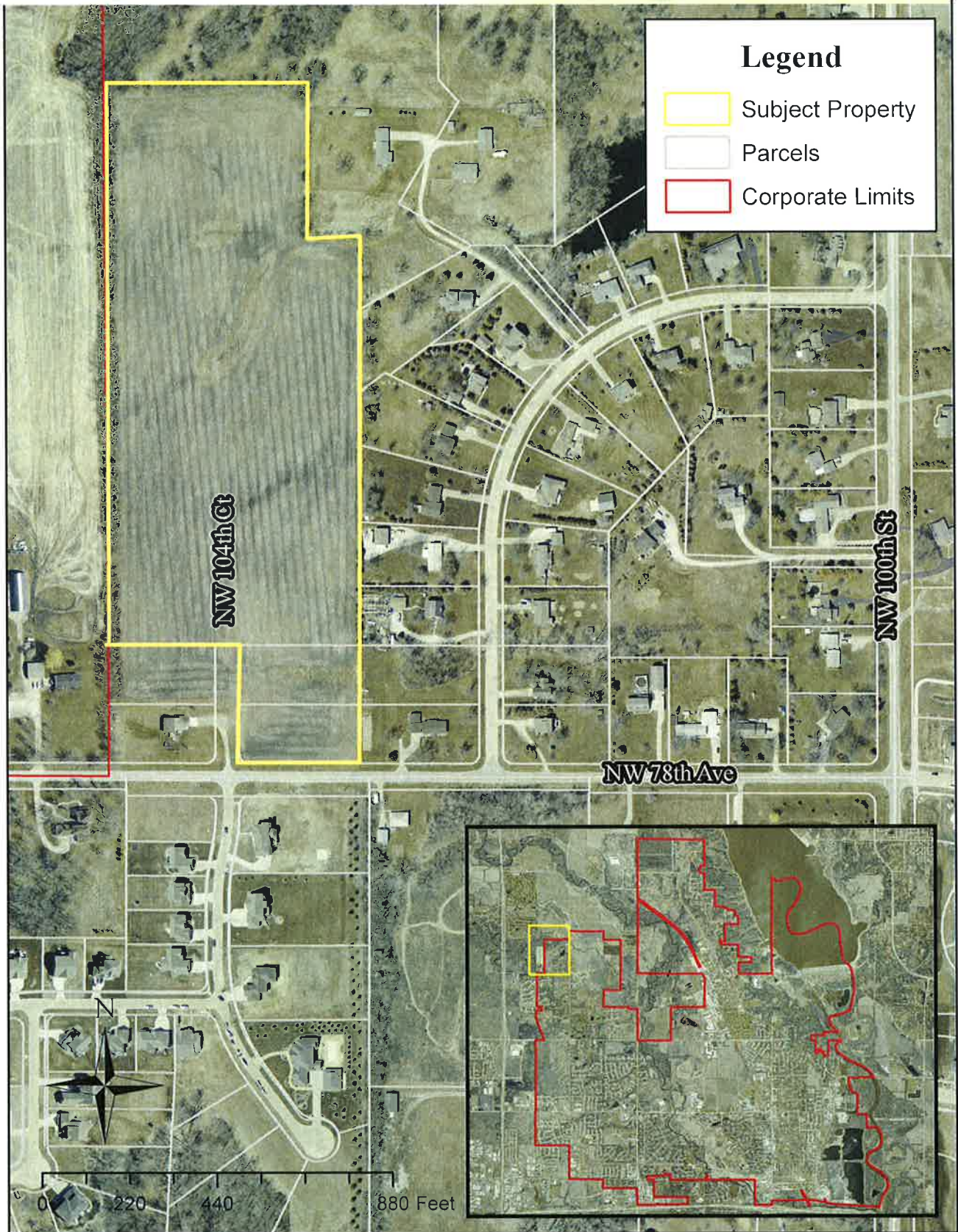


All original executed final plat legal documentation must be submitted to the Community Development Department a minimum of 6 working days prior to the City Council meeting date (August 8). Copies of the final plat documents will then be routed to the City Attorney by the Community Development Department.

Revisions submitted by July 30, 2014 are scheduled for review by the Planning and Zoning Commission at their August 11, 2014 meeting and the August 18, 2014 City Council meeting. In order to proceed on this schedule please submit 4 full size and 2 – 11x17 inch reductions of the revised Final plat. Please include a letter detailing responses/plat modifications to the items noted above.

If you have any questions, please contact me at 727-7763 or by email at [intern@cityofjohnston.com](mailto:intern@cityofjohnston.com).

# Chesterfield Heights Vicinity Map



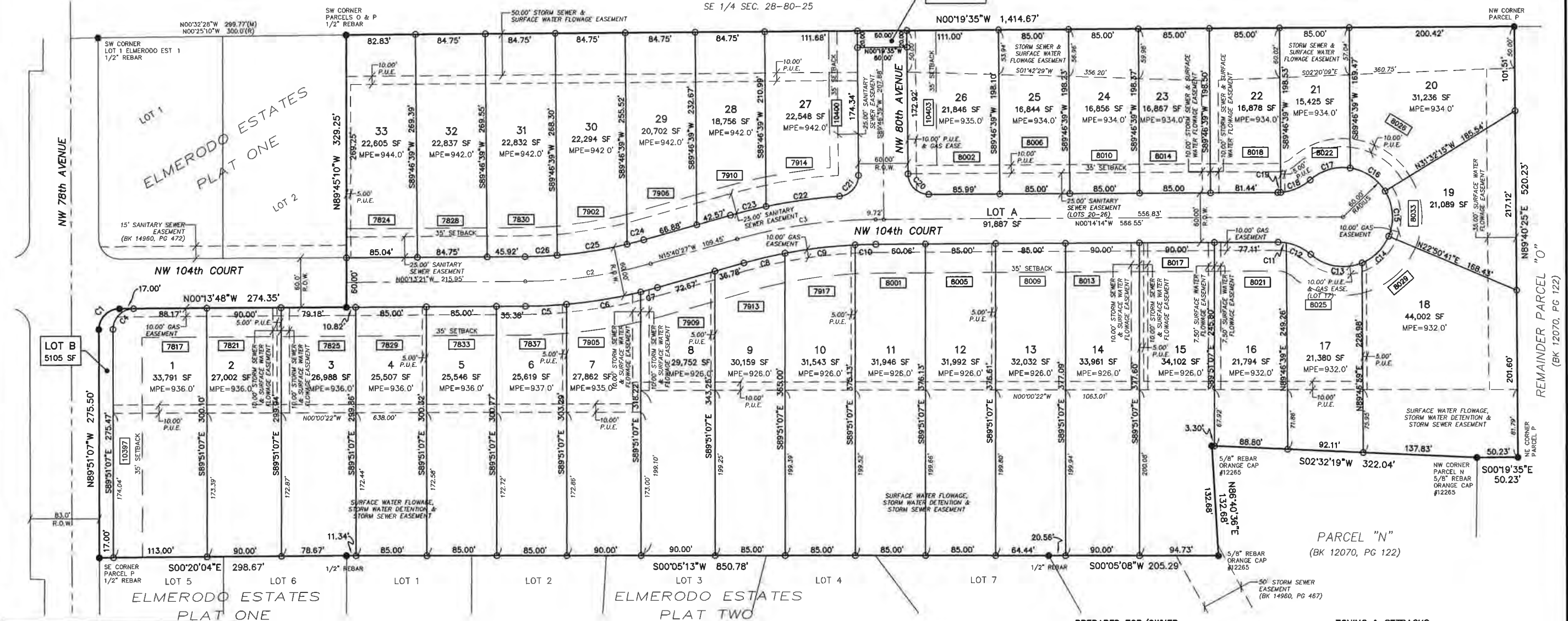


# CHESTERFIELD HEIGHTS PLAT I

JOHNSTON, POLK COUNTY, IOWA

VICKI J. VOGEL  
S 30 AC. OF W 40 AC &  
S 45 FT OF N 10 AC OF W 40 AC  
SE 1/4 SEC. 28-80-25

SPACE RESERVED FOR RECORDER'S USE



Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	39.10	25.00	89°37'18"	S45°02'27"E	35.24
C2	153.72	570.00	15°27'06"	N75°54'4"W	153.25
C3	169.74	630.00	15°26'13"	S75°20'2"E	169.22
C4	39.10	25.00	89°37'18"	S45°02'27"E	35.24
C5	49.70	600.00	4°44'44"	N2°35'43"W	49.68
C6	91.33	600.00	8°43'18"	N9°19'44"W	91.25
C7	20.78	600.00	1°59'03"	N14°40'55"W	20.78
C8	51.01	600.00	4°52'18"	S13°14'18"E	51.00
C9	85.69	600.00	8°10'57"	S8°42'41"E	85.61
C10	24.85	600.00	2°22'59"	S1°25'43"E	24.85
C11	10.04	60.00	9°35'30"	S4°33'31"W	10.03
C12	33.32	60.00	31°49'05"	S25°15'49"W	32.89
C13	66.56	60.00	63°33'22"	N9°23'40"E	63.20
C14	48.88	60.00	44°46'17"	N44°46'10"W	45.70
C15	58.95	60.00	54°22'56"	S85°39'13"W	54.84
C16	52.24	60.00	49°53'20"	S33°31'05"W	50.61
C17	52.59	60.00	50°13'13"	S18°32'12"E	50.92
C18	39.81	60.00	38°00'45"	N22°38'28"W	39.08
C19	3.56	60.00	3°23'50"	N1°58'09"W	3.56
C20	39.28	25.00	90°00'53"	N44°46'13"E	35.36
C21	37.61	25.00	88°11'48"	N47°07'27"W	34.16
C22	89.21	680.00	7°44'39"	S75°53'53"E	89.14
C23	44.97	680.00	3°54'14"	S13°43'19"E	44.96
C24	20.64	540.00	2°13'20"	N14°33'47"W	20.64
C25	85.82	540.00	9°06'21"	N8°53'56"W	85.73
C26	38.86	540.00	4°07'25"	N21°7'03"W	38.85

### LEGAL DESCRIPTION

PARCEL "P" IN THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 80 NORTH, RANGE 25 WEST OF THE 5TH P.M., INCLUDING LOTS 3 AND 4 IN ELMERODO ESTATES PLAT ONE, AN OFFICIAL PLAT, ALL IN THE CITY OF JOHNSTON, POLK COUNTY, IOWA, AS DEPICTED ON THAT PLAT OF SURVEY FILED IN BOOK 14892 AT PAGE 817 IN THE OFFICE OF THE RECORDER FOR POLK COUNTY, IOWA.

ALSO DESCRIBED AS:

PART OF PARCEL "O" IN THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 80 NORTH, RANGE 25 WEST OF THE 5TH P.M., AS DEPICTED ON THAT PLAT OF SURVEY FILED IN BOOK 12070 AT PAGE 122 IN THE OFFICE OF THE RECORDER FOR POLK COUNTY, IOWA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID PARCEL "O" (ALSO BEING THE NORTHWEST CORNER OF LOT 2 IN ELMERODO ESTATES PLAT ONE); THENCE

NORTH 00°(DEGREES) 19'(MINUTES) 35'(SECONDS) WEST (PREVIOUSLY RECORDED AS NORTH 00°29'53" WEST), 1,414.67 FEET ALONG THE WEST LINE OF SAID PARCEL "O"; THENCE

NORTH 89°40'25" EAST, 520.23 FEET; THENCE

SOUTH 00°19'35" EAST, 50.23 FEET TO A POINT ON THE EAST LINE OF SAID PARCEL "O" ALSO BEING THE NORTHWEST CORNER OF PARCEL "N" IN THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 80 NORTH, RANGE 25 WEST OF THE 5TH P.M., AS DEPICTED ON THAT PLAT OF SURVEY FILED IN BOOK 12070 AT PAGE 122 IN THE OFFICE OF THE RECORDER FOR POLK COUNTY, IOWA; THENCE

SOUTH 02°32'19" WEST, 322.04 FEET (PREVIOUSLY RECORDED AS SOUTH 02°17'57" WEST, 321.33 FEET) ALONG THE EAST LINE OF SAID PARCEL "O" AND THE WEST LINE OF SAID PARCEL "N"; THENCE

NORTH 86°40'38" EAST, 132.68 FEET (PREVIOUSLY RECORDED AS NORTH 86°39'04" EAST, 132.41 FEET) ALONG THE EAST LINE OF SAID PARCEL "O" AND THE WEST LINE OF SAID PARCEL "N"; THENCE

SOUTH 00°05'08" WEST, 205.29 FEET (PREVIOUSLY RECORDED AS SOUTH 00°03'46" EAST, 205.14 FEET) ALONG THE EAST LINE OF SAID PARCEL "O" AND THE WEST LINE OF SAID PARCEL "N"; THENCE

SOUTH 00°05'13" WEST, 850.78 FEET (PREVIOUSLY RECORDED AS SOUTH 00°06'03" EAST, 850.06 FEET) ALONG THE EAST LINE OF SAID PARCEL "O" TO THE SOUTHEAST CORNER OF SAID PARCEL "O" ALSO BEING THE NORTHEAST CORNER OF SAID LOT 4 IN ELMERODO ESTATES PLAT ONE; THENCE

SOUTH 00°20'04" EAST, 298.67 FEET (PREVIOUSLY RECORDED AS 300 FEET) ALONG THE EAST LINES OF SAID LOTS 4 AND 3 IN ELMERODO ESTATES PLAT ONE TO THE SOUTHEAST CORNER OF SAID LOT 3 IN ELMERODO ESTATES PLAT ONE; THENCE

NORTH 89°51'07" WEST, 275.50 FEET (PREVIOUSLY RECORDED AS NORTH 89°51'55" WEST, 275 FEET) ALONG THE SOUTH LINE OF SAID LOT 3 IN ELMERODO ESTATES PLAT ONE; THENCE

NORTHWESTERLY 39.10 FEET ALONG THE ARC OF A CURVE IN THE SOUTHWESTERLY LINE OF SAID LOT 3 IN ELMERODO ESTATES PLAT ONE CONCAVE NORTHEASTERLY AND HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 89°37'18", AND A 35.24 FEET LONG CHORD THAT BEARS NORTH 45°02'27" WEST; THENCE

NORTH 00°13'48" WEST, 274.35 FEET (PREVIOUSLY RECORDED AS 275 FEET) ALONG THE WEST LINES OF SAID LOTS 3 AND 4 IN ELMERODO ESTATES PLAT ONE TO THE NORTHWEST CORNER OF SAID LOT 4 IN ELMERODO ESTATES PLAT ONE BEING ON THE SOUTH LINE OF SAID PARCEL "O"; THENCE

NORTH 89°45'10" WEST (PREVIOUSLY RECORDED AS SOUTH 89°59'31" WEST), 328.25 FEET ALONG THE SOUTH LINE OF SAID PARCEL "O" AND THE NORTH LINE OF SAID ELMERODO ESTATES PLAT ONE TO THE POINT OF BEGINNING.

CONTAINING 21.64 ACRES.

### PREPARED FOR/OWNER

CHESTERFIELD HEIGHTS, L.L.C.  
P.O. BOX 373  
JOHNSTON, IA 50131  
PHONE: (515) 480-456

### NOTES

- LOTS A AND B ARE TO BE CONVEYED TO THE CITY OF JOHNSTON FOR PUBLIC RIGHT-OF-WAY.
- OUTLOT A IS COMPLETELY COVERED BY A STORM SEWER AND SURFACE WATER FLOWAGE EASEMENT.
- SOME LOTS MAY HAVE A MINIMUM PROTECTED OPENING ELEVATION (M.P.E.) AS CALCULATED BY THE PROJECT ENGINEER AND NOTED ON SHEET 3 (GRADING PLAN) OF THE CONSTRUCTION PLANS FOR CHESTERFIELD HEIGHTS PLAT I APPROVED BY THE CITY OF JOHNSTON. REFERENCE: ENGINEERING RESOURCE GROUP, INC. PROJECT #13-048. THE SURVEYOR CANNOT AND DOES NOT CERTIFY TO ENGINEERING CALCULATIONS AND DOES NOT CERTIFY TO THE CORRECTNESS OF ANY M.P.E. NOTED HEREON.

### BENCH MARK

RR SPIKE IN 2ND POWER POLE SOUTH OF THE INTERSECTION OF NW 78TH AVE AND NW 100TH STREET.  
ELEVATION = 893.19

ARROW ON FIRE HYDRANT AT NW CORNER OF THE INTERSECTION OF NW 78TH PL. AND NW 100TH STREET.  
ELEVATION = 900.71

### LEGEND

- FOUND MONUMENT 5/8" REBAR W/YELLOW CAP #15288, UNLESS NOTED
- SET 5/8" REBAR W/YELLOW CAP #15288
- ▲ SECTION CORNER FOUND AS NOTED
- △ SECTION CORNER SET AS NOTED
- (R) RECORD DIMENSION
- (M) MEASURED DIMENSION
- R.O.W. RIGHT-OF-WAY
- P.U.E. PUBLIC UTILITY EASEMENT
- (N.R.) NOT RADIAL
- [123] STREET ADDRESS NUMBER
- M.P.E. MINIMUM PROTECTION ELEVATION

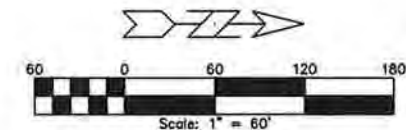
### ZONING & SETBACKS

R-1(75) AS MODIFIED PER 7/15/2013 DEVELOPMENT AGREEMENT WITH CITY OF JOHNSTON.

SETBACKS:  
FRONT (LOTS 1-15) 35' MINIMUM, 45' MAXIMUM  
REAR (LOTS 16-33) 35'  
SIDE 17' TOTAL, 8' MINIMUM ONE SIDE

### FLOOD INSURANCE RATE MAP

UNSHADED ZONE X: AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.  
FEMA FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NUMBER 180901 0085 D REVISED JULY 19, 2000



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

DANIEL F. RITTEL, P.L.S. #2288 DATE 7/25/2014  
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2015

PAIRS OF SHEETS COVERED BY THIS SEAL:  
THIS SHEET ONLY

# CHESTERFIELD HEIGHTS PLAT I

SCALE: 1" = 60'	DESIGNED BY: DFR	DRAWN BY: DFR
DWS: 13-048FP.DWG	CHECKED BY: DFR	DATE: 7/25/2014
FIELD BOOK: SHEET 1 OF 1	FILE NO.: 13-049.00	
LOCATION:	FOR:	REVISION:
NO.	DATE	BY

Engineering Resource Group, Inc.  
Engineers and Surveyors  
2413 GRAND AVENUE  
DES MOINES, IOWA 50312  
(515) 288-4823