



Planning & Zoning Commission

COMMUNITY DEVELOPMENT DEPARTMENT

Monday, June 9th, 2014

SUBJECT: Consider recommending approval of the site plans for 8605 and 8705 Chambery Boulevard for two commercial retail buildings totaling 13,610 sq. ft. (PZ Case 14-21).

SYNOPSIS:

The applicant, Newblood Investment, is proposing to construct two, 1-story buildings located on the northwest corner of 86th Street and Chambery Boulevard. This property is north from Johnston Charter Bank on the west side of 86th street. The westernmost building consists of 65% retail (6,500 sq. ft.) and 35% restaurant (3,210 sq. ft.). The easternmost building is 100% restaurant (3,900 sq. ft.).

RECOMMENDATION:

The staff recommends approval and provides the following motion for the commission's consideration:

The Planning & Zoning Commission recommends approval of PZ Case 14-21, the Site Plans for 8605 Chambery Boulevard with the following Conditions:

1. The project shall be in conformance and in accordance with the requirements, standards and regulations of the City of Johnston, and any other requirement of state or federal law or administrative rule.
2. A Storm Water Pollution Prevention Plan, Evidence of NPDES Permit from the Iowa DNR and a City Grading Permit shall be provided prior to any ground disturbing activity on the site.
3. Prior to the issuance of a building permit for the building on the proposed Lot 2, the applicants shall complete a minor subdivision subdividing the property into two lots as shown on the site plans and provide all necessary cross access, ingress/egress and other easements as necessary.
4. The existing detention/drainage way along north property line is currently in a state of disrepair, the site plans shall be amended reflect the need for the following improvements and the improvements shall be completed prior to the issuance of a certificate of occupancy:
 - a. Clear volunteer tree growth surrounding the intake and outlet within the existing basins which is prohibiting water flow.

- b. Repair the bank erosion on the berm separating the two basins.
- c. Reinstall the trash guard on the eastern most storm sewer outlet.

The site plans must be amended and the following items shall be completed prior to the issuance of a building permit:

5. Applicant shall provide a recorded stormwater management maintenance agreement for each proposed stormwater management facility detailing a maintenance schedule and the responsibilities for such.
6. Applicant shall provide documentation from MidAmerican Energy providing authorization that the proposed parking, drainage and landscaping will be permitted within their existing easements.
7. Address comments 1-7 from Foth's review letter dated June 5, 2014.

Attachments:

- Vicinity Map
- Site Plans, prepared by Civil Design Advantage, LLC dated May 28, 2014
- Elevations prepared by Simonson & Associates Architects LLC, dated May 27, 2014
- Development Review Comments by Staff dated May 21, 2014
- Development Review Comments by Foth Infrastructure & Environment, LLC dated June 5, 2014.
- Mailing List and mailing notice

<p>APPLICANT/OWNER:</p>	<p>Jeff Stanbrough Newblood Investment, LLC 10888 Hickman Road #3B Clive, Iowa 50325 515.334.3345 jeff@stanbroughrealty.com</p>		
<p>REPRESENTATIVES:</p>	<table border="0"> <tr> <td data-bbox="500 441 958 661"> <p>Keith Weggen Civil Design Advantage, LLC 3405 SE Crossroads Drive, Suite G Grimes, Iowa 50111 515.369.4400</p> </td> <td data-bbox="987 441 1372 661"> <p>Clark Snyder Simonson & Associates 1717 Ingersoll Ave #117 Des Moines, Iowa 50309 515.440.5626 csnyder@simonsonassoc.com</p> </td> </tr> </table>	<p>Keith Weggen Civil Design Advantage, LLC 3405 SE Crossroads Drive, Suite G Grimes, Iowa 50111 515.369.4400</p>	<p>Clark Snyder Simonson & Associates 1717 Ingersoll Ave #117 Des Moines, Iowa 50309 515.440.5626 csnyder@simonsonassoc.com</p>
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<p>BACKGROUND & PRIOR APPROVALS:</p>	<p>This site is approximately 3 acres in size at the northwest corner of the intersection of 86th Street and Chambery Boulevard. More specifically, this site consists of Frampton Plaza Plat 2 Lots 15 and 16. These parcels were platted on May 15, 2000, via City Council Resolution 00-114.</p>		
<p>ZONING & BULK REQUIREMENTS:</p>	<p>This site is zoned C-2 (Community Retail Commercial District) for Commercial and Retail uses with the following PC bulk requirements:</p> <ul style="list-style-type: none"> Minimum Lot Area = 20,000 square feet Minimum Lot width = 100 feet Front Yard Setback = 30 feet Rear Yard Setback = 35 feet Side Yard Setback = 10 feet/20 feet total <p>As oriented, this lot has front yard setbacks (30 feet) on both 86th Street and Chambery Boulevard, with a side yard setback (10 feet) along the west boundary of the site. The rear yard, which is defined as the north property line, requires a 35 foot setback.</p> <p>Applicant is in compliance with all of the required bulk requirements including: the minimum lot area and width, along with the rear yard, side yard, and front yard setbacks around the property.</p>		
<p>TRAFFIC ACCESS & CIRCULATION:</p>	<p>Two access points are proposed on Chambery Drive. The easternmost access is depicted as a shared access, half of which is shown on either side of the future shared property line. Staff recommends a condition for approval to amend the site plans to depict an ingress/egress access easement at this location, and to provide an ingress/egress and cross access easements throughout the site in anticipation of future subdivision.</p>		
<p>PEDISTRIAN CIRCULATION & SIDEWALKS:</p>	<p>A four foot wide sidewalk proposed along Chambery Boulevard, which will connect to the existing sidewalk along 86th street. No easement is required.</p>		

**PARKING AND
LOADING:**

Off-street parking and loading must meet the regulations found in Chapter 166.33.3.A.17 of the City of Johnston Code of Ordinances, which requires restaurants to have one parking space for each 50 square feet of floor area devoted to patron use in the establishment AND one parking space for each person regularly employed on the premises during the maximum working shift. In addition, the retail portion of the site must comply with Chapter 166.33.3.A.18.a, which requires retail stores over 2,000 square feet have one parking space for each 175 square feet of gross floor area. The required parking is summarized below:

Building #1 (West):

- Retail: 6,475 sq. ft. / 175 = 37 spaces
- Restaurant: 1,600 patron sq. ft. / 50 = 32 spaces
- Employees: 1 space / employee max shift = 5 spaces
- Total = 74 spaces

Building #2 (East):

- Restaurant: 1,950 patron sq. ft. / 50 = 39 spaces
- Employees: 1 space / employee max shift = 5 spaces
- Total = 44 spaces

	Building #1	Building #2	Handicap	Total
Required	74	44	5	118
Provided	79	48	6	127

As shown in the table above, the site plan is in compliance with the amount of required parking stalls. In addition, it exceeds requirements for handicap spaces.

PUBLIC UTILITIES:

WATER: An existing eight-inch public water main is located at the southernmost boundary of the site. An eight-inch connection will be made to said main near the easternmost site access. This eight-inch connection will serve a hydrant to be installed near the center of the site, and will also branch to a four-inch connection to serve the east building fire service, and in turn branch to two-inch domestic service.

A six-inch connection will also be made to the existing eight-inch main near the west access to serve the west building. Said connection will serve the west building fire service, and in turn branch to two-inch domestic service.

SANITARY SEWER: An existing six-inch sanitary sewer connection is stubbed to the lot. A six-inch service line will be constructed to service both buildings. In addition, grease interceptors from each building will be connected to this six-inch service line as required for restaurant uses.

<p>FIRE PROTECTION:</p>	<p>Fire hydrants are required to be spaced every 300 feet (150-foot radius) in commercial areas. A coverage map is provided on page C4.1 of the site plans. Two new fire hydrants will be installed with the site improvements, one close to the center of the site, and the other will be located near the easternmost site entrance. A third existing fire hydrant is located near the westernmost entry. Based upon the size and use of both buildings, it is they are required to be sprinkled. The site plans indicate fire service connections for such.</p>
<p>FLOODPLAIN:</p>	<p>The site is not located within the 100-year floodplain.</p>
<p>DRAINAGE:</p>	<p>Today, there are two basins on northern side of the property's boundary. Staff recommends both basins be cleared of voluntary tree growth, especially around the intake and outlet components, to ensure proper drainage. The applicant requests to abandon a surface water flowage easement along the west side of the site, which would no longer be needed due to the proposed drainage and storm sewer infrastructure.</p> <p>The existing detention/drainage way along north property line is currently in a state of disrepair, the site plans shall be amended reflect the need for the following improvements and the improvements shall be completed prior to the issuance of a certificate of occupancy:</p> <ol style="list-style-type: none"> a. Clear volunteer tree growth surrounding the intake and outlet within the existing basins which is prohibiting water flow. b. Repair the bank erosion on the berm separating the two basins. c. Reinstall the trash guard on the eastern most storm sewer outlet. <p>Staff recommends a condition for approval requiring applicant submittal of a recorded stormwater management maintenance agreement for each proposed stormwater management facility which details a maintenance schedule and the responsibilities for such.</p>
<p>ARCHITECTURE:</p>	<p>Chapter 166.34 of the City of Johnston Code of Ordinances mandates 75% of the proposed building be constructed out of a permanent material (a combination of brick, architectural concrete panels, textured concrete block, or architectural steel, or stone panels). The remaining exterior material shall be considered building trim. The maximum amount of trim on the wall area, excluding glass, shall not exceed 25 percent. In addition, the east building is located within 300' of NW 86th Street. As such, Chapter 166.35.2.D mandates 50% of the wall area facing NW 86th Street be constructed of brick.</p> <p>The proposed elevations are in compliance and indicate utilization of the following building materials:</p>

East Building Elevations

East Elevation:

- 100% Brick/Panel
- 0% Trim

West Elevation:

- 63% Brick/Panel
- 37% Trim

South Elevation:

- 78% Brick/Panel
- 22% Trim

North Elevation:

- 90% Brick/Panel
- 10% Trim

West Building Elevations:

East Elevation:

- 92% Brick/Panel
- 8% Trim

West Elevation:

- 100% Brick/Panel
- 0% Trim

South Elevation:

- 89% Brick/Panel
- 11% Trim

North Elevation:

- 100% Brick/Panel
- 0% Trim

OPEN SPACE:

Chapter 166.32 of the City of Johnston Code of Ordinances mandates C-2 districts furnish 25 percent of the total area to open space. The site is 155,784 square feet and would, therefore, require 38,946 square feet of open space. The proposed site plan is in compliance with 45,830 square feet (51%).

LANDSCAPING:

The open space landscape requirements are as follows:

- 26 Trees [1 per 1,500 sq. ft. of open space (16 of which must 8' to 10' in height and the remaining 10 must be 2" to 2.5" caliper)].
- 39 Shrubs (1 per 1,000 sq. ft. of open space)

The site plan shows 52 trees and 39 shrubs, meaning shrubs meet the requirement, while trees exceed the requirement. In addition, the trees proposed meet the required size requirements listed above.

BUFFERS:

There is a residential district adjacent to the north boundary of the site. The following tables illustrate required vs. provided buffer area plantings, in accordance to Chapter 166.34:

West Lot: A 50' buffer is required between the proposed commercial district and the existing residential district. The western buffer measure 254 lineal feet. Therefore, the required plantings are as follows:

50' Buffer (West Lot)		
<i>Plantings</i>	<i>Required</i>	<i>Provided</i>
Overstory Trees:	5	5
Understory Trees:	10	10

Evergreen Trees:	10	10
Shrubs:	41	41

East Lot: The 50' buffer is required to extend eastward to 86th Street to divide the commercial and residential districts. This buffer measure 198 lineal feet. Therefore, the required plantings are as follows:

50' Buffer (East Lot)		
<i>Plantings</i>	<i>Required</i>	<i>Provided</i>
Overstory Trees:	4	4
Understory Trees:	8	8
Evergreen Trees:	8	8
Shrubs:	32	32

In conclusion, both tables depict the site plan's buffers are in compliance with Chapter 166.34.

NPDES PERMIT:

A SWPPP and NPDES Permit for this site need to be provided and approved by City Staff prior to any ground disturbing activity.

SITE LIGHTING:

The applicant is proposing mounted downcast light fixtures above the retail entrance doors and on the rear of the retail buildings. Downcast pole lights are proposed along the perimeter of the building. A photometric plan has been submitted, and is in conformance with the City's requirements.

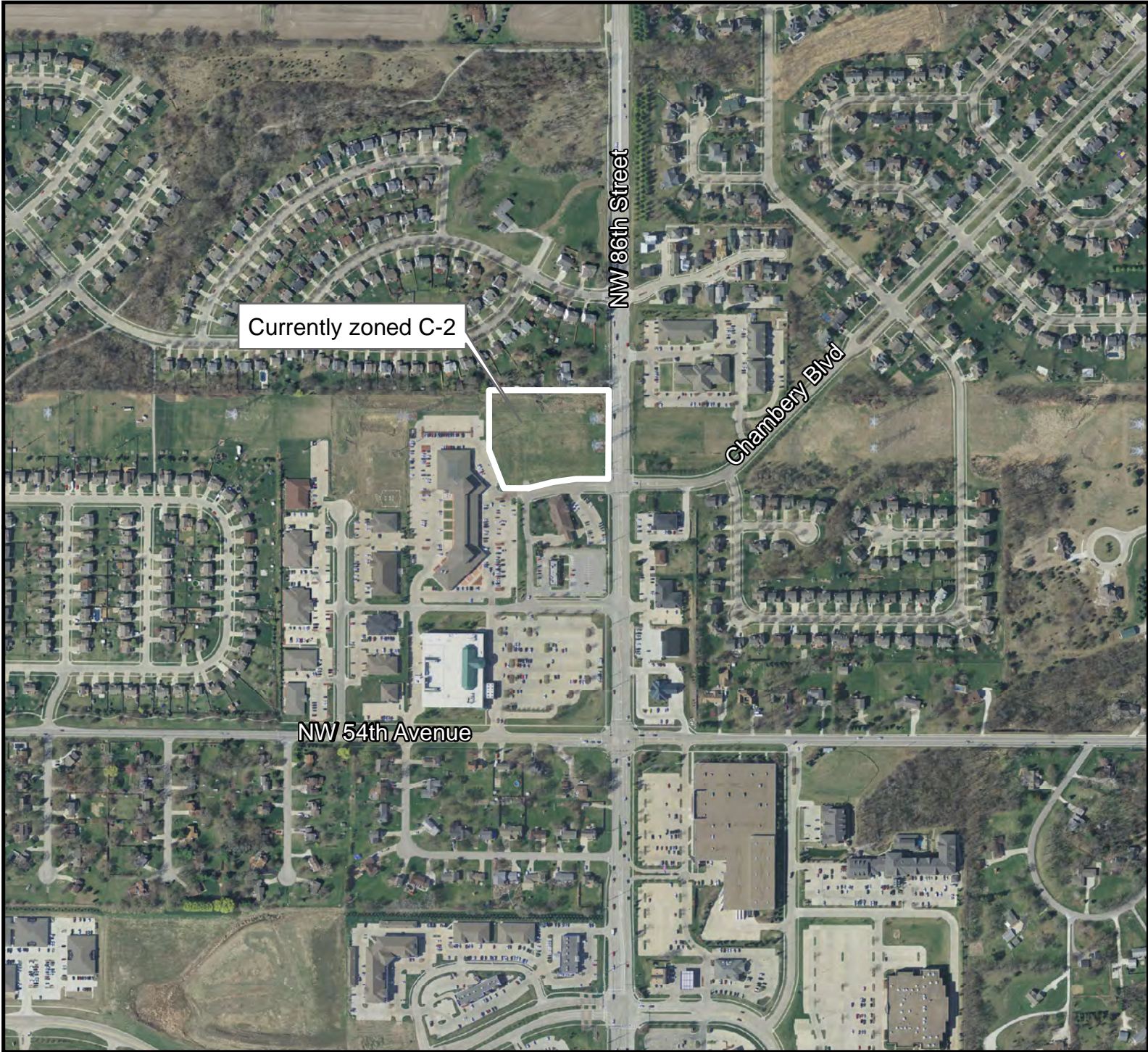
ADJACENT OWNER NOTICE:

Notice was sent to the properties adjacent to this site to make them aware of the proposed development. A copy of the notice and mailing list are attached; to date no comments have been received.

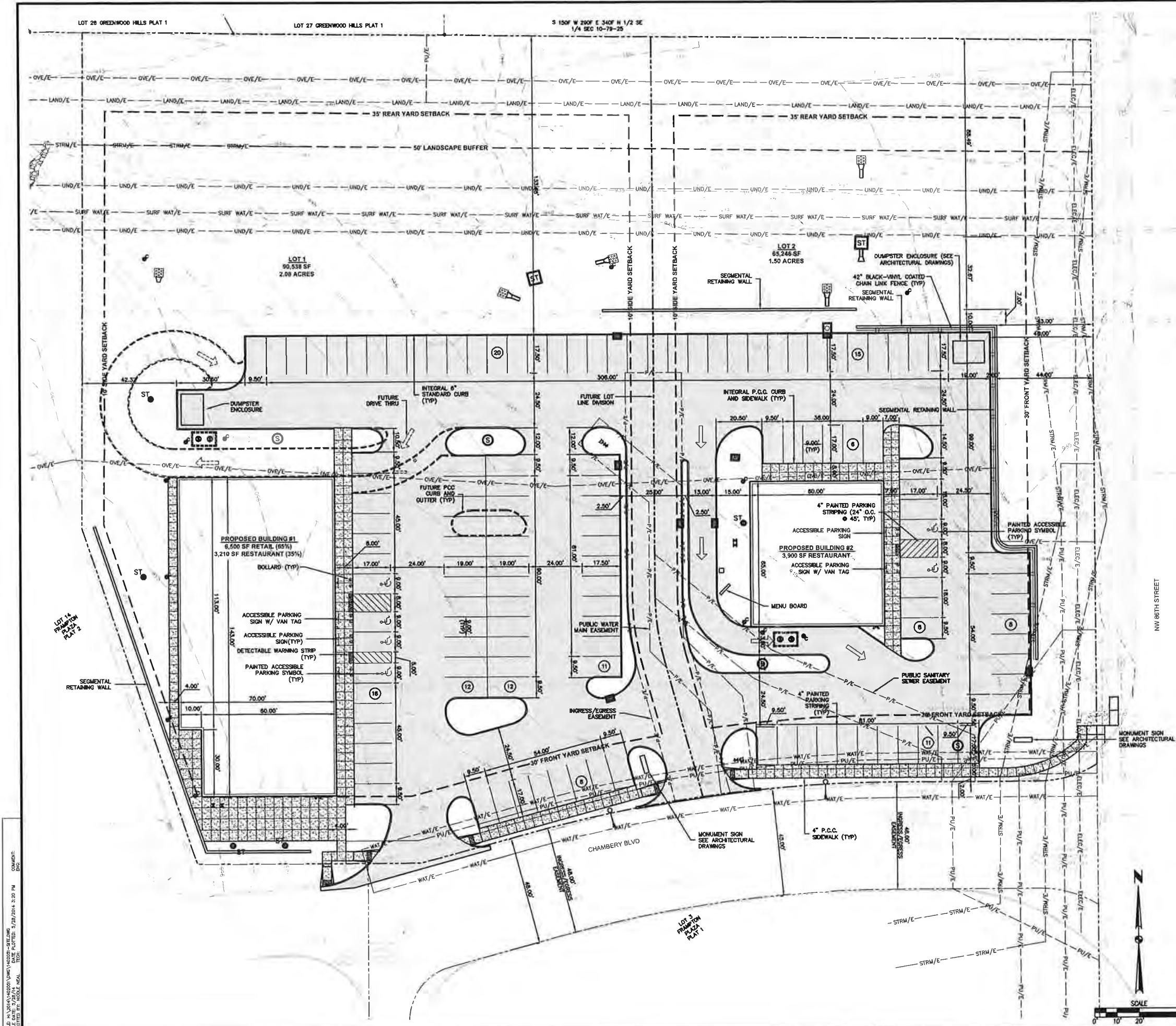
CONSULTANT COMMENTS:

Foth Infrastructure & Environment, LLC has reviewed the Site Plan and offered comments in their June 5, 2014 letter. Staff recommends a condition of approval requiring all outstanding issues be addressed prior to the issuance of a building permit.

Chambery Point Vicinity Map



0 160 320 640 960 1,280
Feet



GENERAL NOTES

1. THE 2014 EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S CONSTRUCTION DIVISION.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
17. CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
18. ALL SCOUR STOP SHALL BE INSTALLED BY A CERTIFIED CONTRACTOR ACCORDING TO SCOUR STOP PRODUCT SPECIFICATIONS.
19. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.

PAVEMENT THICKNESS

SIDEWALKS	4" P.C.C.
ENTRANCES, DRIVE LANES, DUMPSTER PAD:	7" P.C.C.
PARKING SPACE:	6" P.C.C.

OVERHEAD ELECTRICAL WARNING

THE OVERHEAD 13,000-VOLT, 69,000-VOLT, 161,000-VOLT AND 345,000-VOLT ELECTRIC LINES IN THE PROJECT AREA ARE CONTINUOUSLY ENERGIZED. THE CONDUCTORS (OVERHEAD WIRES) ON THESE ELECTRIC LINES ARE BARE AND UNINSULATED AND CONTACT WITH THESE ELECTRIC LINES CAN CAUSE SERIOUS INJURY OR DEATH. ALL PEOPLE INVOLVED WITH ANY CONSTRUCTION, MAINTENANCE, OR SIMILAR ACTIVITIES WITHIN THE VICINITY OF THESE ELECTRIC LINES MUST BE AWARE AND REMAIN AWARE OF THE HAZARDS OF WORKING AROUND THESE ELECTRIC LINES, INCLUDING MAINTAINING PROPER SAFETY CLEARANCES FROM THESE ELECTRIC LINES.

DATE: _____

REVISIONS: _____

SITE PLAN SUBMITTAL #1

3405 S.E. CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PHONE: (515) 369-4400 FAX: (515) 369-4410

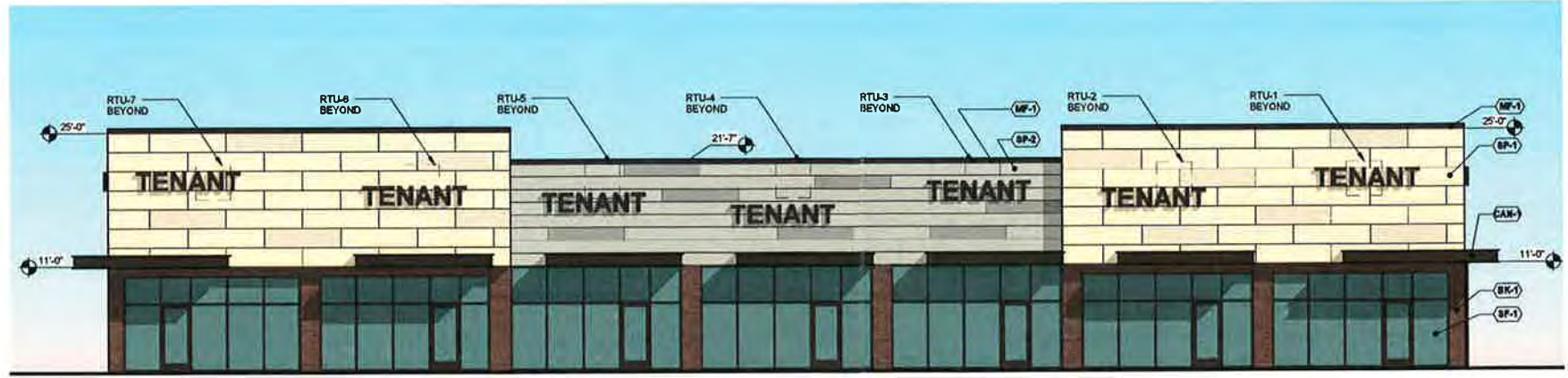
TECH: _____

CHAMBERY POINT
DIMENSION PLAN

JOHNSTON, IOWA

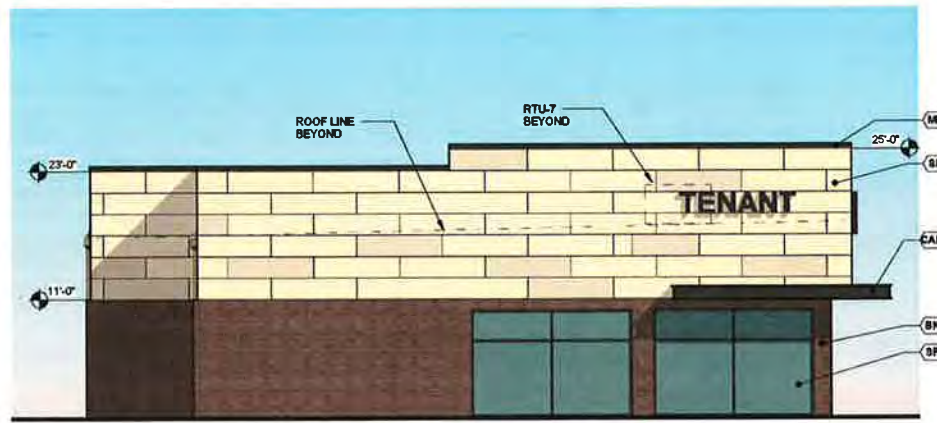
C2.1
1402.051

CITY OF JOHNSTON
 COMMUNITY DEV. DEPT.
 DATE RECD: 5/28/2014
 CASE NO.: PZ 14-21

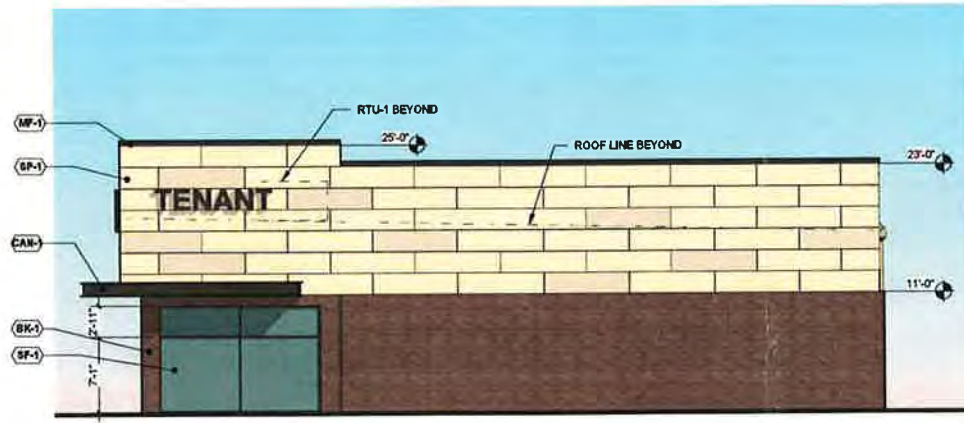


1 EAST ELEVATION
 1/8" = 1'-0"

EXTERIOR MATERIAL KEY	
MAT. LABEL	MATERIAL SPECIFICATION INFORMATION
BK-1	THIN SET BRICK
CAN-1	PREFINISHED SHEET METAL AT CANOPY
MF-1	PREFINISHED SHEET METAL CAP FLASHING
SP-1	1" INSULATED LOW E GLASS IN ALUM STOREFRONT FRAMING
SP-1	HARDI-PANEL SIDING COLOR 1 24" X 96" PANEL
SP-2	HARDI-PANEL SIDING COLOR 2 18" X 96" PANEL

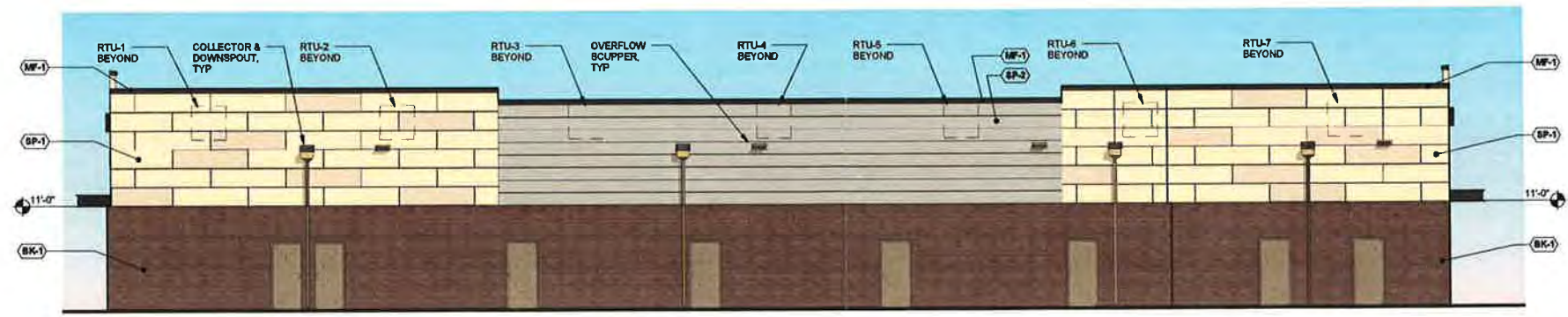


2 SOUTH ELEVATION
 1/8" = 1'-0"



3 NORTH ELEVATION
 1/8" = 1'-0"

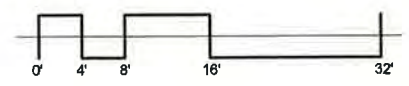
EXTERIOR MATERIAL CALCULATIONS	
WALL MATERIAL	MATERIAL SF
WEST ELEVATION	
TOTAL WALL	2696
TOTAL - GLASS	2696
BRICK	1568
PANEL	1698
GLAZING	-
PERCENTAGE PRIMARY MATERIAL	100%
NORTH ELEVATION	
TOTAL WALL	1695
TOTAL - GLASS	1545
BRICK	614
PANEL	931
GLAZING	150
PERCENTAGE PRIMARY MATERIAL	100%
SOUTH ELEVATION	
TOTAL WALL	1491
TOTAL - GLASS	1192
BRICK	352
PANEL	840
GLAZING	299
PERCENTAGE PRIMARY MATERIAL	100%
EAST ELEVATION	
TOTAL WALL	3424
TOTAL - GLASS	2102
BRICK	238
PANEL	1864
GLAZING	1864
PERCENTAGE PRIMARY MATERIAL	100%



4 WEST ELEVATION
 1/8" = 1'-0"

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8605 CHAMBERY
 JOHNSTON, IA



5/27/14

1/8" = 1'-0" @ 24"x36" Sheet
 Half Scale @ 11"x17" Sheet
 JOB NO. 12122

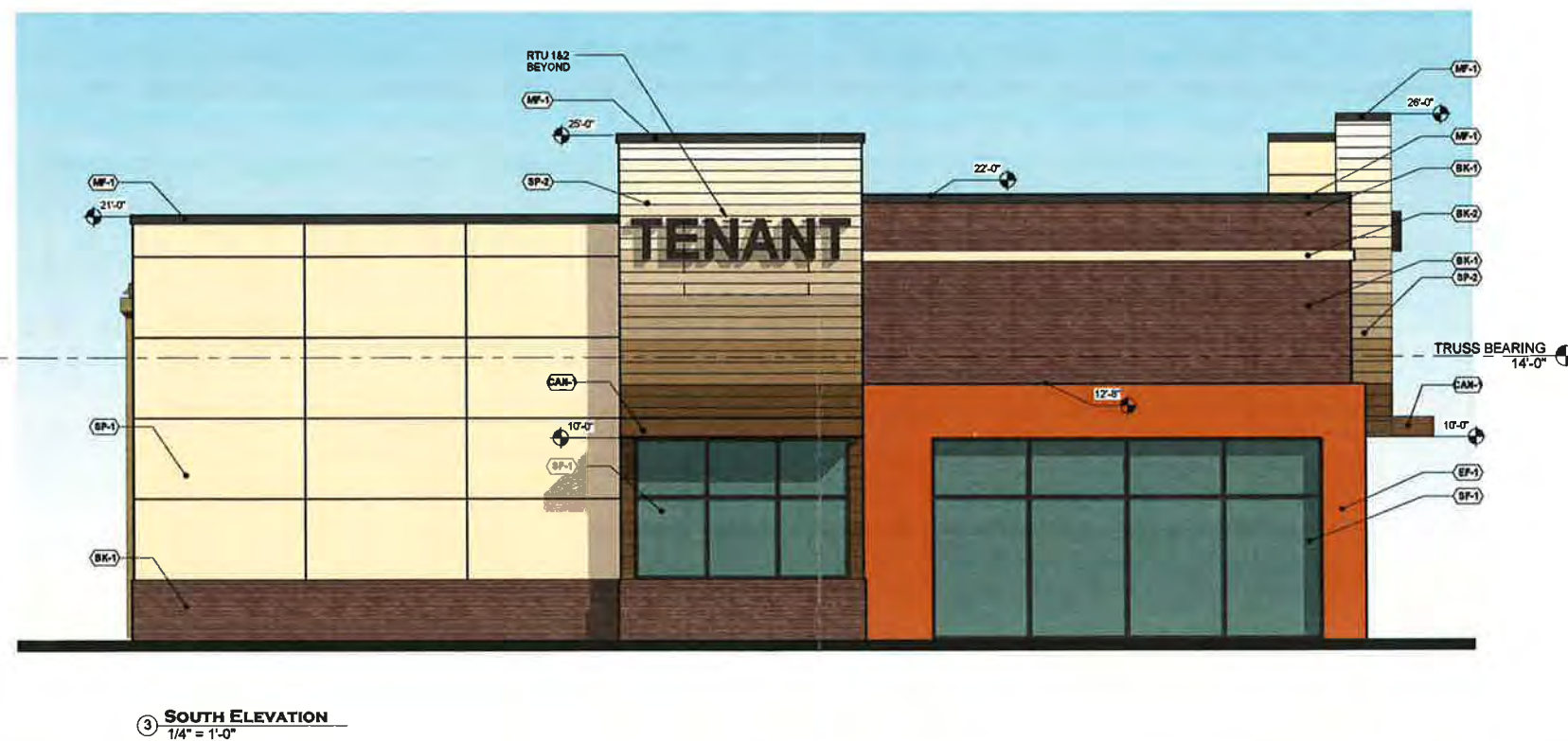
simonson

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 phn 515 440 5626 www.simonsonassoc.com



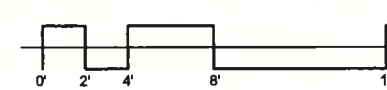
EXTERIOR MATERIAL KEY	
MAT. LABEL	MATERIAL SPECIFICATION INFORMATION
BK-1	THIN SET BRICK
BK-2	THIN SET 6" STONE BAND
CAN-1	PREFINISHED SHEET METAL AT CANOPY
EF-1	EXTERIOR INSULATION FINISH SYSTEM
MF-1	HARDI-PANEL SIDING, COLOR 1
MF-1	PREFINISHED SHEET METAL CAP FLASHING
MF-1	THIN SET BRICK
SF-1	1" INSULATED LOW E GLASS IN ALUM STOREFRONT FRAMING
SP-1	HARDI-PANEL SIDING, COLOR 1
SP-2	HARDI-PANEL SIDING, COLOR 2

EXTERIOR MATERIAL CALCULATIONS	
WALL MATERIAL	MATERIAL SF
EAST ELEVATION	
TOTAL WALL	1535
TOTAL WALL - GLASS	1019
BRICK	524
PANEL	459
EIFS	85
PERCENTAGE PRIMARY MATERIAL	92%
PERCENTAGE BRICK	51%
(ELEVATION FACING 86TH)	92%
NORTH ELEVATION	
TOTAL WALL	1371
TOTAL WALL - GLASS	1309
BRICK	740
PANEL	569
GLAZING	62
PERCENTAGE PRIMARY MATERIAL	100%
SOUTH ELEVATION	
TOTAL WALL	1322
TOTAL WALL - GLASS	1043
BRICK	327
PANEL	597
EIFS	118
GLAZING	279
PERCENTAGE PRIMARY MATERIAL	98%
WEST ELEVATION	
TOTAL WALL	2,700
TOTAL WALL - GLASS	1344
PANEL	1020
BRICK	324
PERCENTAGE PRIMARY MATERIAL	100%



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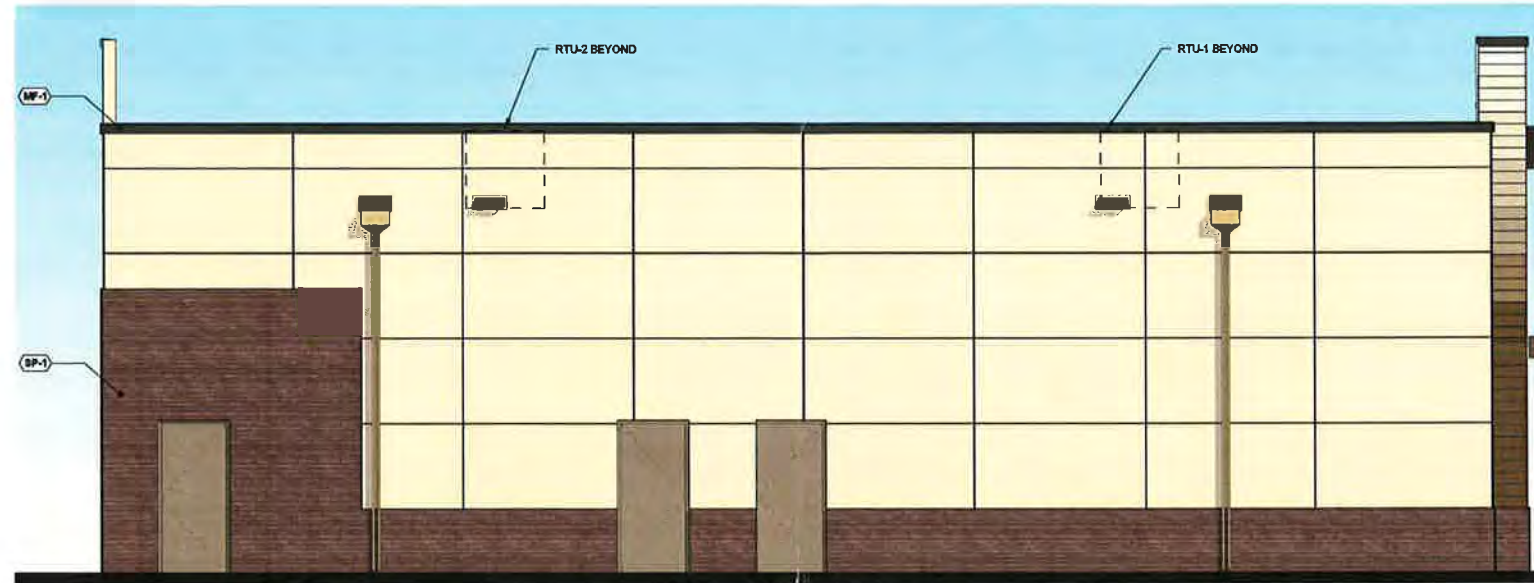


1/4" = 1'-0" @ 24"X36" Sheet
Half Scale @ 11"x17" Sheet
JOB NO. 12122

05/27/14

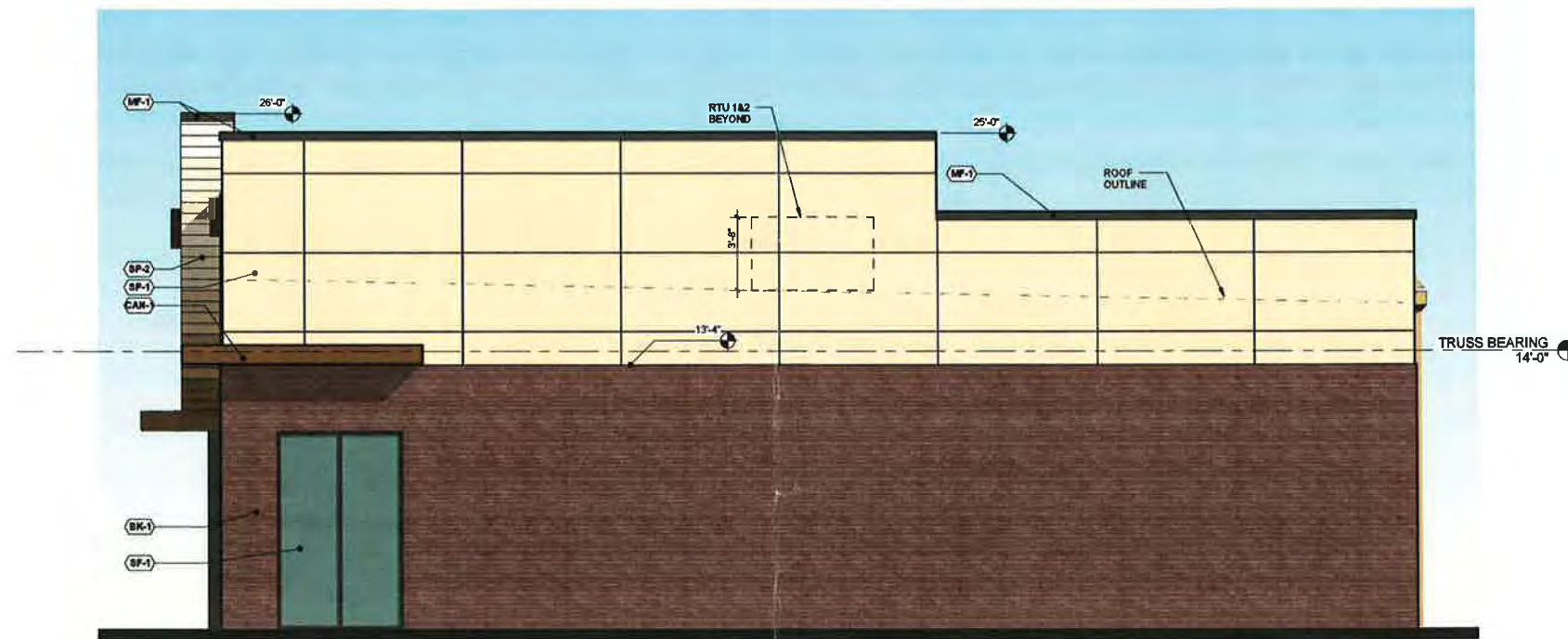
simonson

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ph 515 440 5626 www.simonsonassoc.com



② WEST ELEVATION
1/4" = 1'-0"

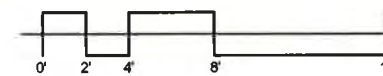
EXTERIOR MATERIAL KEY	
MAT. LABEL	MATERIAL SPECIFICATION INFORMATION
BK-1	THIN SET BRICK
BK-2	THIN SET 6" STONE BAND
CAN-1	PREFINISHED SHEET METAL AT CANOPY
EF-1	EXTERIOR INSULATION FINISH SYSTEM
MF-1	HARD-PANEL SIDING, COLOR 1
MF-1	PREFINISHED SHEET METAL CAP FLASHING
MF-1	THIN SET BRICK
SP-1	1" INSULATED LOW E GLASS IN ALUM STOREFRONT FRAMING
SP-1	HARD-PANEL SIDING, COLOR 1
SP-2	HARD-PANEL SIDING, COLOR 2



① NORTH ELEVATION
1/4" = 1'-0"

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